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30-YEAR INSPECTION - STRUCTURAL



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1: INTRODUCTION

Information

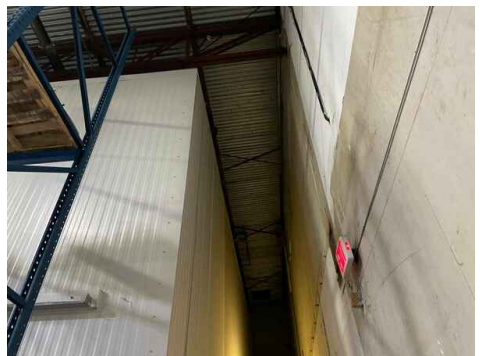
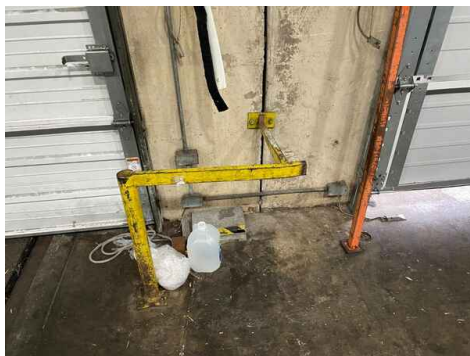
Project Information: GreenWorks Project Number	Project Information: Inspection Date	Project Information: Report Issue Date
	2024-02-02	2024-02-09

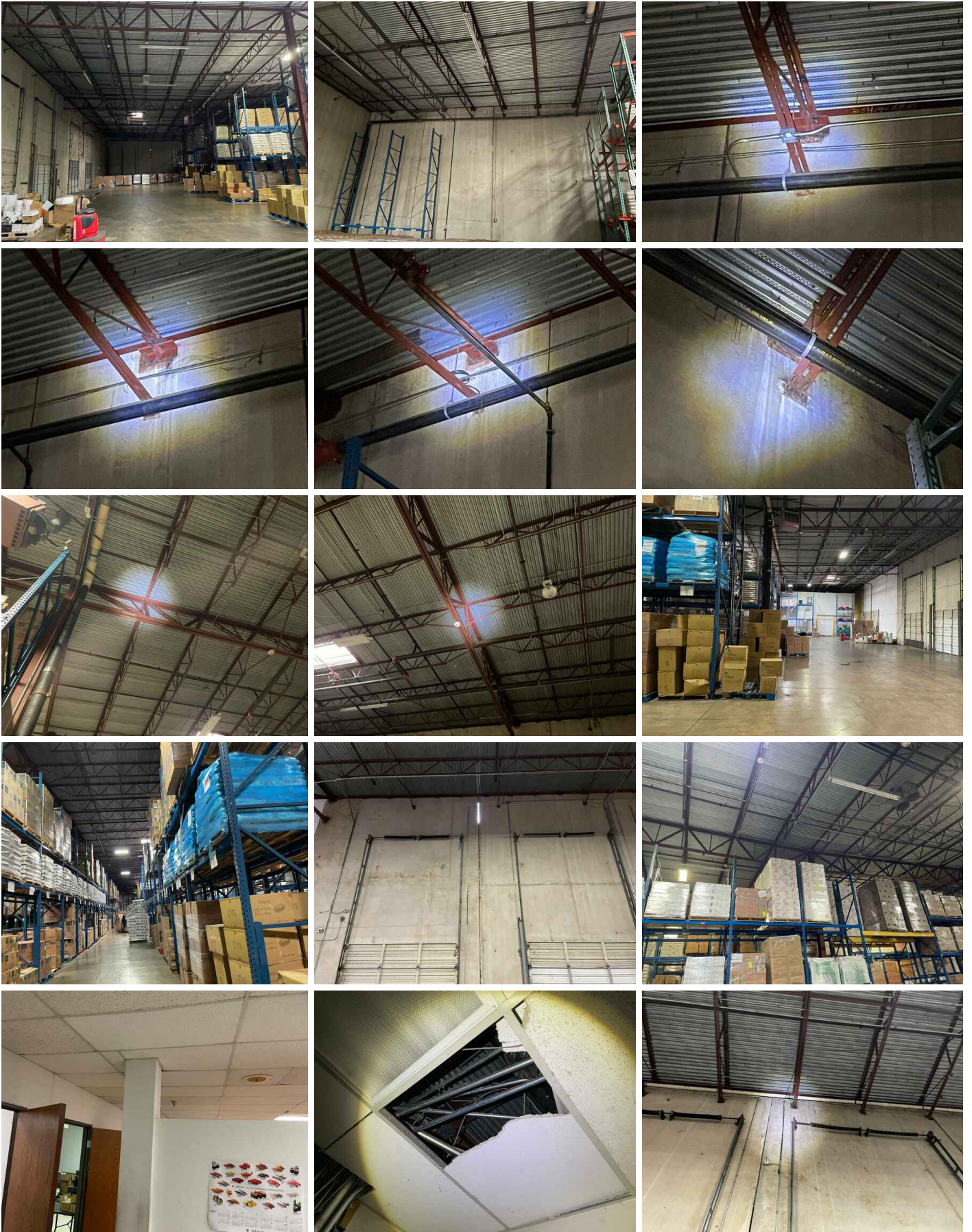
Project Information: Purpose - 30 Year Inspection

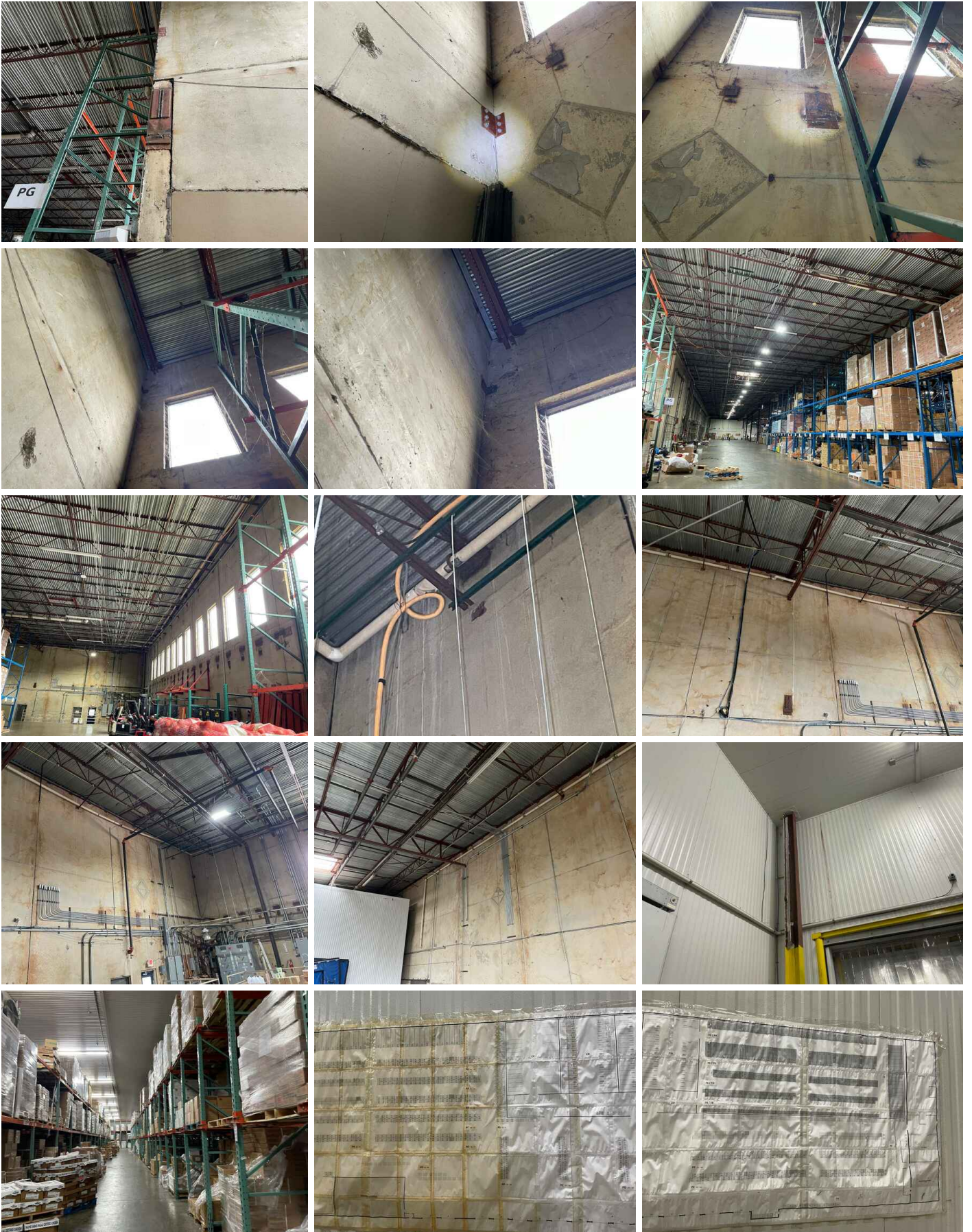
As requested, personnel of GreenWorks Engineering have completed a site observation of the structure at the address referenced above. The purpose of the observation was to complete the 30-year building safety inspection.

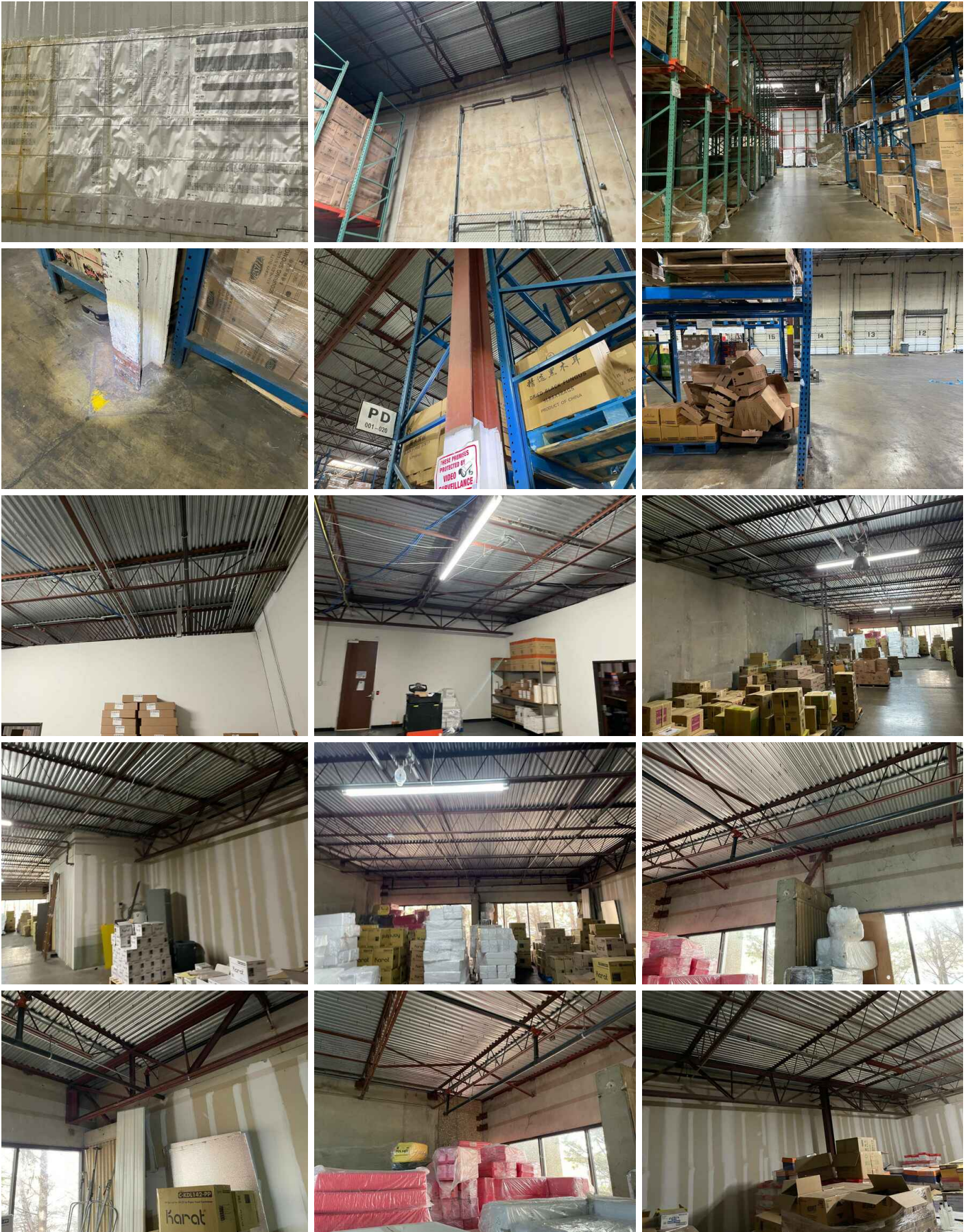
Property Photos: General Property Photos

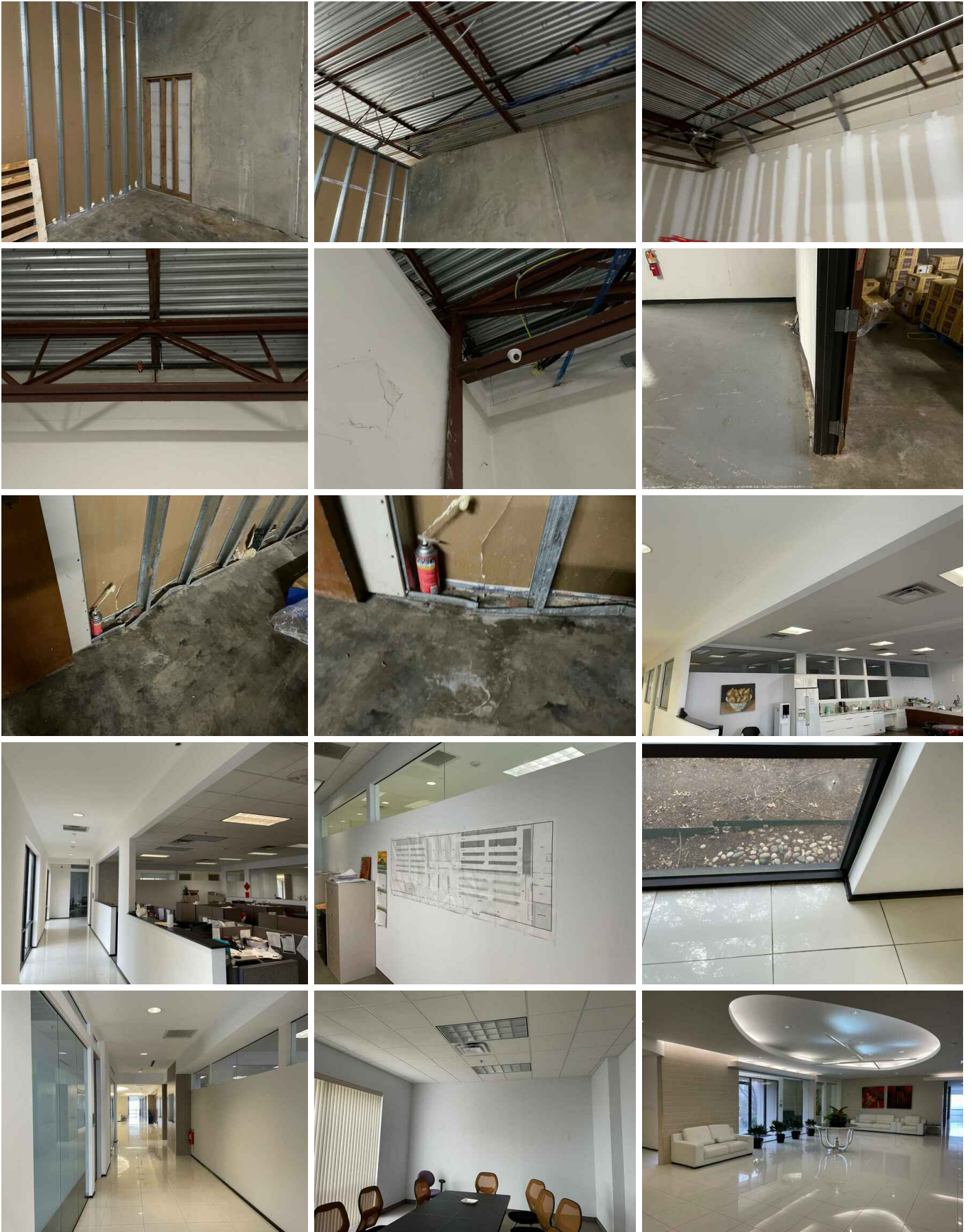














Limitations

Project Information

PHOTOGRAPHS TAKEN ON-SITE

Some data collected in the form of photographs is presented in this report. These photographs are included for reference and are intended only to represent the distress generally found throughout the structure. They do not represent a comprehensive catalog of all of the distress present in the structure.

2: MASONRY WALLS

Information

General: General Description

- N/A - No masonry walls are present at the facility.

3: FLOOR AND ROOF SYSTEM

Information

Roof System: Framing Type

Flat roof with composite metal deck system

Floor System: Framing Type

N/A - Single Floor Structure

Inspection: Access Areas

Framing was exposed throughout the warehouse area with the exception of the freezers. Framing access was limited at the offices on the north and south side of the structure.

4: STEEL FRAMING SYSTEMS

Information

Roof Framing: General Framing Information

14" deep trusses spaced at 5-feet on center with double angle top and bottom chord with square tube web. Members were not accessible to measure thickness and depth. Typical clear spans of 40'. Roof trusses bear on tilt wall panels with two cast in place anchor points at exterior walls. Roof trusses bear on girder trusses at 40' intervals. Girder trusses are 40" deep. Top chord, bottom chord, and web members are double angles. Members were not accessible to measure thickness and depth. Girder trusses were supported by W10 columns at 40' intervals.

Roof Framing: Roof Truss Condition

No damaged roof trusses observed.

Roof Framing: Girder Truss Condition

No damaged girder trusses observed.

Roof Framing: Steel Connection Condition

- A roof truss is missing the bottom chord connection to the concrete wall panel at the east wall bump out.
- A roof truss is missing the bottom chord connection to the concrete wall panel at the northeast wall corner. Cast in place anchor is present, but no angle welded to anchor to complete connection.
- Minor corrosion was visible at some exterior wall connections.

5: CONCRETE FRAMING SYSTEMS

Information

Concrete Framing Systems: General Framing

Concrete tilt wall panels support the steel roof structure. No other concrete framing systems were observed.

Concrete Framing Systems: Cracking

No significant cracking observed.

Concrete Framing Systems: General Condition

- Expansion joints as required, no excessive movement observed.
- Plant life growing on concrete panel along west wall.

Concrete Framing Systems: Rebar Condition

No exposed rebar was observed.

6: WINDOWS

Information

General: Type

Storefront windows with aluminum mullions.

General: Anchorage

No window anchorage exposed at the time of inspection.

General: Sealant

Sealant was present at all windows. Sealants had minor patches and repairs as required. No notable damage observed.

General: General Condition

Minor cosmetic damage to exterior mullion on west side of building.

7: WOOD FRAMING

Information

General: Type

N/A - Steel framed structure

8: EXTERIOR FINISH

Information

Type: Stucco

Veneer is water stained at scuppers and drains. Minor chips in concrete panels. Observed damage was cosmetic and did not appear to be structural.

9: CONCLUSIONS

Information

Structural Damage Assessment Conclusions: Structural Review - Repairs Required

Based on our observations, the majority of the subject framing and structural systems appeared to be in relatively good condition. However, two roof joists appeared to be missing connection to the tilt wall panel. It is our opinion that the following repairs are required to bring the structure to adequacy:

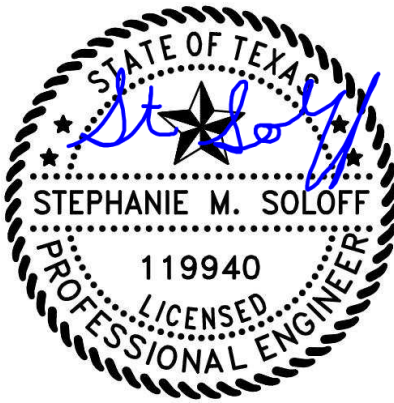
- Add connection to the bottom chord of the truss at both locations missing truss to tilt wall panel connections. New connections should match the existing connection present on other trusses.

10: PROFESSIONAL ENGINEER STAMP

Information

Professional Engineer Stamp: Reviewed by Stephanie Soloff, P.E.

02/09/2024



GreenWorks Service Company
Lead Engineer
Texas Registered Engineering Firm 20170

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Report Prepared By: Prepared by
Garrett Shahan, E.I.T.

Limitations

Limitations

GENERAL

The opinions and recommendations contained in this report are based on the visual observation of the then current conditions of the structure and the knowledge and experience of the engineer. The evaluation was limited to visual observations and areas not visible, accessible, or hidden behind furniture and appliances were not included in the evaluation. The evaluation did not include any soil sampling or testing.

The evaluation did not include any assessment of the existing foundation, plumbing, or soil and no implication is made on the compliance or non-compliance of the house with old or current building codes.

No guarantee or warranty as to the future performance or need for repair of the structure is intended or implied. Limits of liability for any claims with respect to this report is limited to the fees paid for services and anyone relying on the content of this report agrees to indemnify GreenWorks Service Company for all costs exceeding this fee.